

After Recording
Return to:

The M3 Companies
7033 E. Greenway Parkway, Suite 100
Scottsdale, AZ 85254

FOR RECORDING INFORMATION

**FIRST SUPPLEMENT TO
MASTER DECLARATION
OF COVENANTS, CONDITIONS AND RESTRICTIONS
FOR
RIVERSTONE SUBDIVISION**

This First Supplement to Master Declaration of Covenants, Conditions and Restrictions for Riverstone Subdivision (this "**First Supplement**") is made this 29th day of July, 2020 by M3 ID Moon Valley, LLC, an Arizona limited liability company ("**Grantor**").

RECITALS

A. Grantor is the developer and owner of certain real property located in Ada County, Idaho, known as Riverstone Subdivision, as more particularly described in that certain Master Declaration of Covenants, Conditions and Restrictions for Riverstone Subdivision, recorded in Ada County, Idaho, on July 29, 2020, as Instrument No. 2020-095409 (the "**Master Declaration**").

B. As noted in Section 2.2 of the Master Declaration, the Property is intended to be developed in phases, each of which shall be subject to the Master Declaration as amended or supplemented from time to time.

C. Grantor has caused to be recorded that certain plat identified as Moon Valley Subdivision No. 1, as filed in Book 118 of Plats at Pages 18219 through 18229, in Ada County, Idaho, on July 8, 2020, as Instrument No. 2020-084462 (the "**Phase 1 Plat**"), and more particularly described and depicted on Exhibit A attached hereto and made a part hereof (the "**Phase 1 Property**").

D. Grantor desires to supplement the Master Declaration, as permitted by Sections 1.1 and 2.2 of the Master Declaration, to confirm, and to declare that the Phase 1 Property, and each lot, parcel, or portion thereof, is and/or shall be held, sold, conveyed, encumbered, hypothecated, leased, used, occupied and improved subject to the terms of the Master Declaration, and subject to the following terms, covenants, conditions, easements, and restrictions as hereinafter set forth.

NOW, THEREFORE, Grantor hereby declares that the Phase 1 Property and each lot, parcel, or portion thereof, is and shall be held, sold, conveyed, encumbered, hypothecated, leased, used, occupied, and improved subject to the Master Declaration and the following terms, covenants, conditions, easements, and restrictions, all of which are declared and agreed to be in furtherance of a general plan for the protection, maintenance, subdivision, improvement, and sale of the Phase 1 Property, and to enhance the value, desirability, and attractiveness of the Phase 1 Property. The terms, covenants, conditions, easements, and restrictions set forth herein shall run with the land constituting the Phase 1 Property and with each estate therein, and shall be binding upon all persons having or acquiring any right, title, or interest in the Phase 1 Property, or any lot, parcel, or portion thereof.

In addition to the restrictions set forth in the Master Declaration, the Phase 1 Property shall be subject to the following:

1. **Defined Terms.** All capitalized terms not defined herein shall have the meanings set forth in the Master Declaration, as amended.

2. **Association and Voting.** The Phase 1 Property shall be part of Riverstone Homeowners' Association, Inc. (the "Association"). The Phase 1 Property shall be governed in accordance with the Master Declaration, as the same may from time to time be amended, including, without limitation, the obligation for and enforcement of Assessments as further described therein.

3. **Design Review.** Any and all improvements shall be subject to review by the ACC, which review will be in accordance with the Architectural Guidelines, as the same may be amended from time to time, and all in accordance with the Master Declaration.

4. **Designation of Phase 1 Common Area.** The Common Area established in the Phase 1 Property consists of those lots so designated on the Phase 1 Plat, including: Lots 1, 2, 33, 38, 42, 57, 66, 67, 76, 82, and 83 of Block 1. Said Common Area shall be maintained by the Association in accordance with the Master Declaration.

5. **Storm Drain Maintenance.** Light maintenance of the ACHD storm drain system located on Lots 2, 42, 67, and 82 of Block 1, of the plat of Moon Valley Subdivision No. 1 shall be provided by the Association as further set forth in the Master Declaration.

6. **No Additional Changes.** Except as supplemented by this First Supplement, the Master Declaration shall remain unchanged and in full force and effect.

7. **Effect of Supplement.** This First Supplement shall be binding upon and inure to the benefit of Grantor, all Owners of a Building Lot, and their successors and assigns. If there is any conflict between the terms of this First Supplement and the Master Declaration, this First Supplement shall control.

[end of text – signature on following page]

IN WITNESS WHEREOF, the undersigned has caused this First Supplement to Master Declaration of Covenants, Conditions and Restrictions for Riverstone Subdivision, to be duly executed the day and year first above written.

GRANTOR:

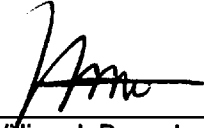
M3 ID MOON VALLEY, LLC,
an Arizona limited liability company

By: M3 Builders, LLC,
an Arizona limited liability company

Its: Manager

By: The M3 Companies, LLC,
an Arizona limited liability company

Its: Member

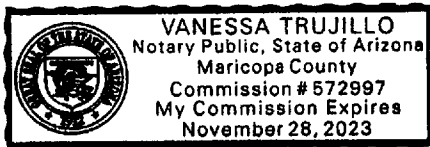


By: William I. Brownlee
Its: Manager

STATE OF ARIZONA)
) ss.
County of Maricopa)

On this 1st day of June, 2020, before me, the undersigned, a Notary Public in and for said state, personally appeared William I. Brownlee, known or identified to me to be the Manager of The M3 Companies, LLC, the Arizona limited liability company that is the Member of M3 Builders, LLC, the Arizona limited liability company that is the Manager of M3 ID Moon Valley, LLC, the Arizona limited liability company that executed the within and foregoing instrument, or the person who executed the instrument on behalf of said limited liability company, and acknowledged to me that such limited liability company executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



Van Trujillo
Notary Public for State of Arizona
Residing at Maricopa County
My commission expires: November 28, 2023

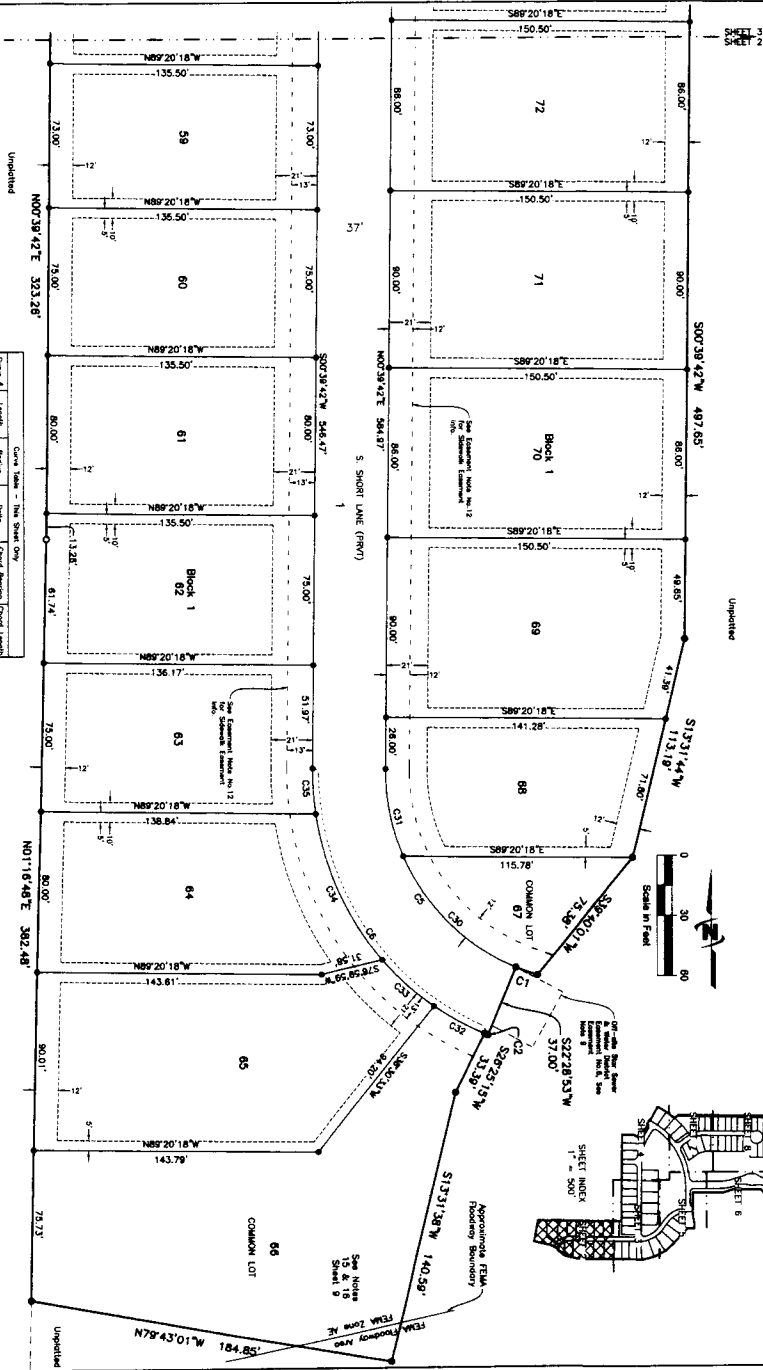
Exhibit A

Plat of Riverstone Subdivision No. 1

[see attached]

PLAT SHOWING
MOON VALLEY SUBDIVISION No. 1

PLAT BOOK 16 PAGE 18220



Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	11.50'	108.50'	87.32°	N07°37'20"W	11.54'
C2	1.86'	143.50'	97.84°	N67°06'48"W	1.88'
C3	129.72'	108.50'	867.04°	S27°28'43"E	118.30'
C4	188.80'	108.50'	672°01'11"	S27°28'43"E	198.30'
C5	43.50'	108.50'	242°33'58"	S09°37'42"E	79.84'
C6	28.22'	143.50'	114°00'11"	N07°28'28"W	28.17'
C7	30.00'	143.50'	145°00'24"	N49°26'11"W	30.00'
C8	81.46'	143.50'	323°31'36"	N07°28'28"W	80.37'
C9	23.13'	143.50'	87.83°	N07°27'21"W	23.11'



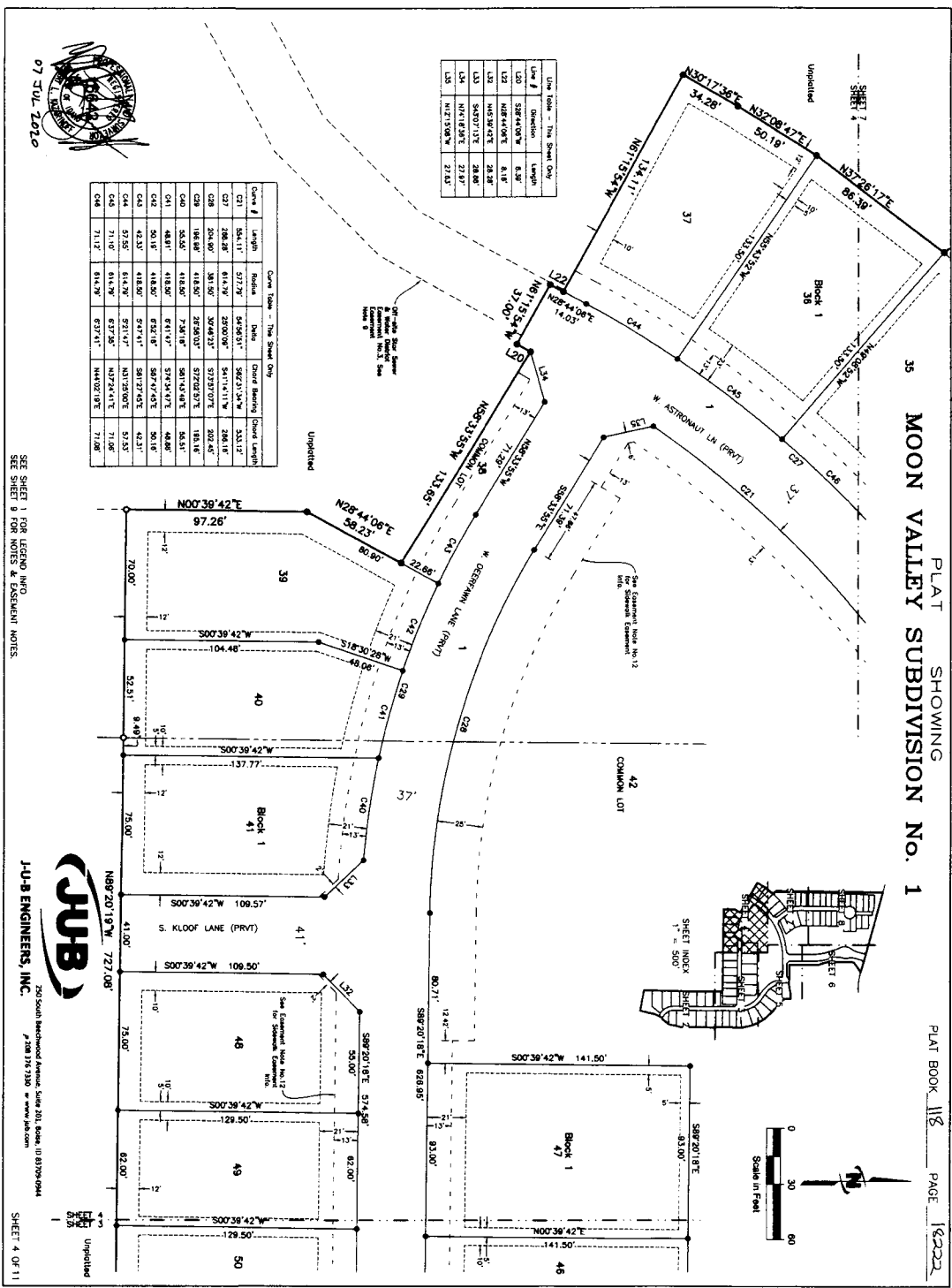
JUB ENGINEERS, INC.
120 South Birchwood Avenue, Suite 201, Boise, ID 83705-0984
P: 208.378.7330 W: www.jub.com

SEE SHEET 1 FOR LEGEND INFO
SEE SHEET 9 FOR NOTES & EASEMENT NOTES

SHEET 2 OF 11

PLAT SHOWING
MOON VALLEY SUBDIVISION No. 1

PLAT BOOK 118 PAGE 16222



Line Table - This Sheet Only

Line #	Direction	Length
L20	S88°44'00"W	8.30'
L21	N88°44'00"E	8.18'
L22	N45°30'42"E	28.38'
L23	S45°07'12"E	28.80'
L24	N41°18'30"E	22.97'
L25	N17°15'00"W	27.63'

Curve Table - This Sheet Only

Curve #	Radius	Chord	Chord Bearing	Chord Length
C21	546.11'	577.79'	S42°51'24"W	553.12'
C27	208.28'	614.79'	S20°00'00"W	208.18'
C28	204.00'	381.50'	S20°48'32"E	373.9707'E
C29	186.88'	418.50'	S28°50'00"E	372.8237'E
C30	50.00'	118.50'	7°34'18"W	58.1534'W
C31	48.81'	418.50'	8°11'42"E	574.5417'E
C32	50.15'	418.50'	8°32'18"W	587.7442'E
C33	42.33'	418.50'	9°17'42"E	581.3742'E
C34	57.55'	614.79'	S21°14'24"W	613.9000'E
C35	71.10'	614.79'	S27°28'42"W	613.9000'E
C36	71.12'	614.79'	S27°11'42"W	613.9000'E



SEE SHEET 1 FOR LEGEND INFO
 SEE SHEET 9 FOR NOTES & EASEMENT NOTES.

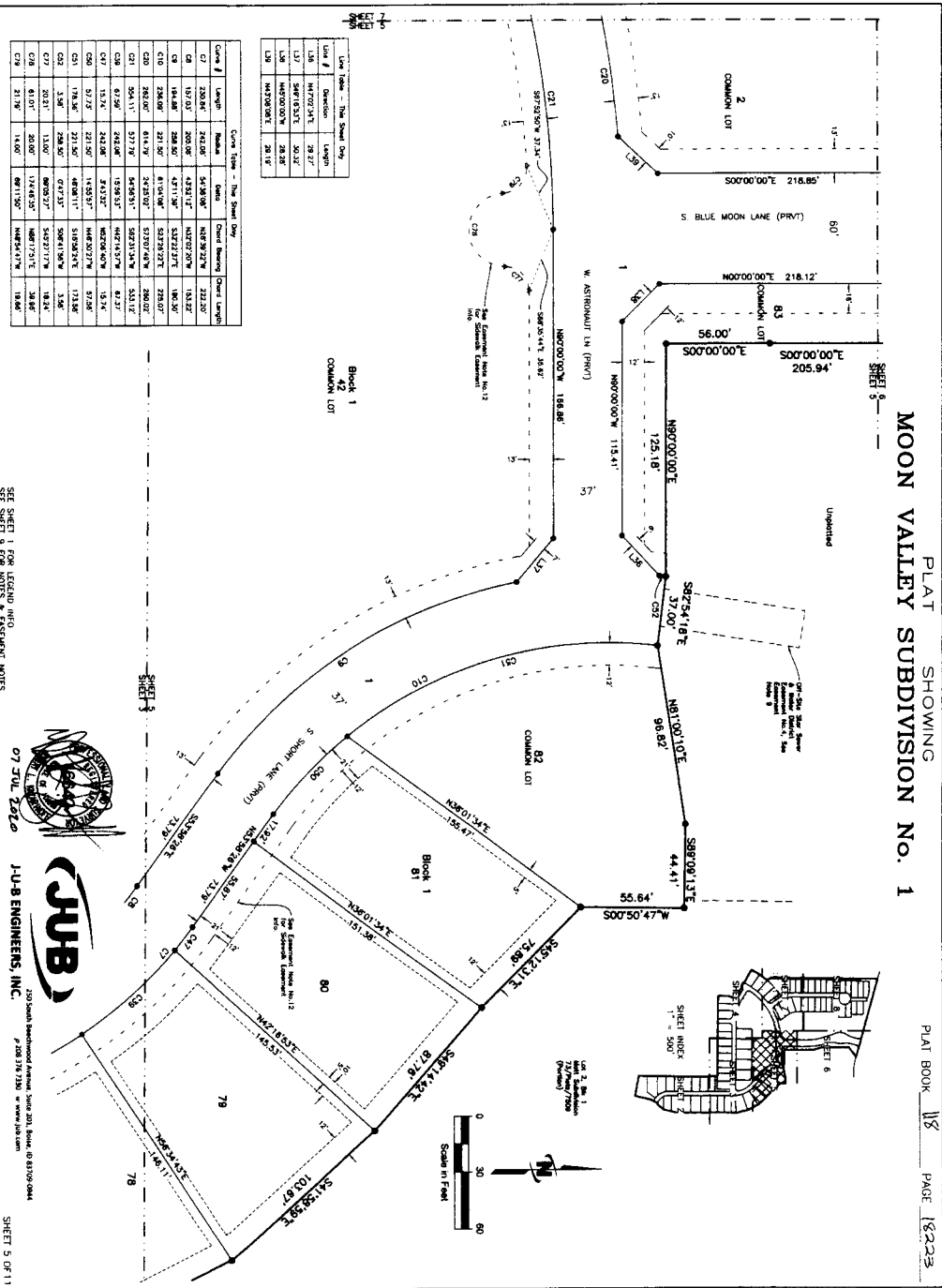


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SHEET 4 OF 11

PLAT SHOWING
MOON VALLEY SUBDIVISION No. 1

PLAT BOOK 118 PAGE 18223



Lot Table - This Sheet Only

Lot #	Area	Length	Width
1-3	1,000.00	100.00	33.33
4-6	1,000.00	100.00	33.33
7-9	1,000.00	100.00	33.33
10-12	1,000.00	100.00	33.33
13-15	1,000.00	100.00	33.33
16-18	1,000.00	100.00	33.33
19-21	1,000.00	100.00	33.33
22-24	1,000.00	100.00	33.33
25-27	1,000.00	100.00	33.33
28-30	1,000.00	100.00	33.33
31-33	1,000.00	100.00	33.33
34-36	1,000.00	100.00	33.33
37-39	1,000.00	100.00	33.33
40-42	1,000.00	100.00	33.33
43-45	1,000.00	100.00	33.33
46-48	1,000.00	100.00	33.33
49-51	1,000.00	100.00	33.33
52-54	1,000.00	100.00	33.33
55-57	1,000.00	100.00	33.33
58-60	1,000.00	100.00	33.33
61-63	1,000.00	100.00	33.33
64-66	1,000.00	100.00	33.33
67-69	1,000.00	100.00	33.33
70-72	1,000.00	100.00	33.33
73-75	1,000.00	100.00	33.33
76-78	1,000.00	100.00	33.33
79-81	1,000.00	100.00	33.33
82-84	1,000.00	100.00	33.33
85-87	1,000.00	100.00	33.33
88-90	1,000.00	100.00	33.33
91-93	1,000.00	100.00	33.33
94-96	1,000.00	100.00	33.33
97-99	1,000.00	100.00	33.33
100-102	1,000.00	100.00	33.33

Curve Data - This Sheet Only

Curve #	Length	Radius	Chord	Chord Bearing	Point Length
C1	200.00	500.00	196.13	N20°27'27" E	22.87
C2	100.00	250.00	98.02	N40°54'43" E	11.98
C3	150.00	375.00	147.15	N30°27'27" E	17.85
C4	200.00	500.00	196.13	N20°27'27" E	22.87
C5	250.00	625.00	245.26	N10°54'43" E	28.74
C6	300.00	750.00	294.39	N01°27'27" E	34.61
C7	350.00	875.00	343.52	N01°54'43" E	40.48
C8	400.00	1000.00	392.65	N02°27'27" E	46.35
C9	450.00	1125.00	441.78	N03°00'00" E	52.22
C10	500.00	1250.00	490.91	N03°27'27" E	58.09
C11	550.00	1375.00	540.04	N04°00'00" E	63.96
C12	600.00	1500.00	589.17	N04°27'27" E	69.83
C13	650.00	1625.00	638.30	N05°00'00" E	75.70
C14	700.00	1750.00	687.43	N05°27'27" E	81.57
C15	750.00	1875.00	736.56	N06°00'00" E	87.44
C16	800.00	2000.00	785.69	N06°27'27" E	93.31
C17	850.00	2125.00	834.82	N07°00'00" E	99.18
C18	900.00	2250.00	883.95	N07°27'27" E	105.05
C19	950.00	2375.00	933.08	N08°00'00" E	110.92
C20	1000.00	2500.00	982.21	N08°27'27" E	116.79
C21	1050.00	2625.00	1031.34	N09°00'00" E	122.66
C22	1100.00	2750.00	1080.47	N09°27'27" E	128.53
C23	1150.00	2875.00	1129.60	N10°00'00" E	134.40
C24	1200.00	3000.00	1178.73	N10°27'27" E	140.27
C25	1250.00	3125.00	1227.86	N11°00'00" E	146.14
C26	1300.00	3250.00	1276.99	N11°27'27" E	152.01
C27	1350.00	3375.00	1326.12	N12°00'00" E	157.88
C28	1400.00	3500.00	1375.25	N12°27'27" E	163.75
C29	1450.00	3625.00	1424.38	N13°00'00" E	169.62
C30	1500.00	3750.00	1473.51	N13°27'27" E	175.49
C31	1550.00	3875.00	1522.64	N14°00'00" E	181.36
C32	1600.00	4000.00	1571.77	N14°27'27" E	187.23
C33	1650.00	4125.00	1620.90	N15°00'00" E	193.10
C34	1700.00	4250.00	1670.03	N15°27'27" E	198.97
C35	1750.00	4375.00	1719.16	N16°00'00" E	204.84
C36	1800.00	4500.00	1768.29	N16°27'27" E	210.71
C37	1850.00	4625.00	1817.42	N17°00'00" E	216.58
C38	1900.00	4750.00	1866.55	N17°27'27" E	222.45
C39	1950.00	4875.00	1915.68	N18°00'00" E	228.32
C40	2000.00	5000.00	1964.81	N18°27'27" E	234.19
C41	2050.00	5125.00	2013.94	N19°00'00" E	240.06
C42	2100.00	5250.00	2063.07	N19°27'27" E	245.93
C43	2150.00	5375.00	2112.20	N20°00'00" E	251.80
C44	2200.00	5500.00	2161.33	N20°27'27" E	257.67
C45	2250.00	5625.00	2210.46	N21°00'00" E	263.54
C46	2300.00	5750.00	2259.59	N21°27'27" E	269.41
C47	2350.00	5875.00	2308.72	N22°00'00" E	275.28
C48	2400.00	6000.00	2357.85	N22°27'27" E	281.15
C49	2450.00	6125.00	2406.98	N23°00'00" E	287.02
C50	2500.00	6250.00	2456.11	N23°27'27" E	292.89
C51	2550.00	6375.00	2505.24	N24°00'00" E	298.76
C52	2600.00	6500.00	2554.37	N24°27'27" E	304.63
C53	2650.00	6625.00	2603.50	N25°00'00" E	310.50
C54	2700.00	6750.00	2652.63	N25°27'27" E	316.37
C55	2750.00	6875.00	2701.76	N26°00'00" E	322.24
C56	2800.00	7000.00	2750.89	N26°27'27" E	328.11
C57	2850.00	7125.00	2800.02	N27°00'00" E	333.98
C58	2900.00	7250.00	2849.15	N27°27'27" E	339.85
C59	2950.00	7375.00	2898.28	N28°00'00" E	345.72
C60	3000.00	7500.00	2947.41	N28°27'27" E	351.59
C61	3050.00	7625.00	2996.54	N29°00'00" E	357.46
C62	3100.00	7750.00	3045.67	N29°27'27" E	363.33
C63	3150.00	7875.00	3094.80	N30°00'00" E	369.20
C64	3200.00	8000.00	3143.93	N30°27'27" E	375.07
C65	3250.00	8125.00	3193.06	N31°00'00" E	380.94
C66	3300.00	8250.00	3242.19	N31°27'27" E	386.81
C67	3350.00	8375.00	3291.32	N32°00'00" E	392.68
C68	3400.00	8500.00	3340.45	N32°27'27" E	398.55
C69	3450.00	8625.00	3389.58	N33°00'00" E	404.42
C70	3500.00	8750.00	3438.71	N33°27'27" E	410.29
C71	3550.00	8875.00	3487.84	N34°00'00" E	416.16
C72	3600.00	9000.00	3536.97	N34°27'27" E	422.03
C73	3650.00	9125.00	3586.10	N35°00'00" E	427.90
C74	3700.00	9250.00	3635.23	N35°27'27" E	433.77
C75	3750.00	9375.00	3684.36	N36°00'00" E	439.64
C76	3800.00	9500.00	3733.49	N36°27'27" E	445.51
C77	3850.00	9625.00	3782.62	N37°00'00" E	451.38
C78	3900.00	9750.00	3831.75	N37°27'27" E	457.25
C79	3950.00	9875.00	3880.88	N38°00'00" E	463.12
C80	4000.00	10000.00	3930.01	N38°27'27" E	468.99
C81	4050.00	10125.00	3979.14	N39°00'00" E	474.86
C82	4100.00	10250.00	4028.27	N39°27'27" E	480.73
C83	4150.00	10375.00	4077.40	N40°00'00" E	486.60
C84	4200.00	10500.00	4126.53	N40°27'27" E	492.47
C85	4250.00	10625.00	4175.66	N41°00'00" E	498.34
C86	4300.00	10750.00	4224.79	N41°27'27" E	504.21
C87	4350.00	10875.00	4273.92	N42°00'00" E	510.08
C88	4400.00	11000.00	4323.05	N42°27'27" E	515.95
C89	4450.00	11125.00	4372.18	N43°00'00" E	521.82
C90	4500.00	11250.00	4421.31	N43°27'27" E	527.69
C91	4550.00	11375.00	4470.44	N44°00'00" E	533.56
C92	4600.00	11500.00	4519.57	N44°27'27" E	539.43
C93	4650.00	11625.00	4568.70	N45°00'00" E	545.30
C94	4700.00	11750.00	4617.83	N45°27'27" E	551.17
C95	4750.00	11875.00	4666.96	N46°00'00" E	557.04
C96	4800.00	12000.00	4716.09	N46°27'27" E	562.91
C97	4850.00	12125.00	4765.22	N47°00'00" E	568.78
C98	4900.00	12250.00	4814.35	N47°27'27" E	574.65
C99	4950.00	12375.00	4863.48	N48°00'00" E	580.52
C100	5000.00	12500.00	4912.61	N48°27'27" E	586.39

SEE SHEET 1 FOR LEGEND AND
SEE SHEET 9 FOR NOTES & EXISTENT NOTES



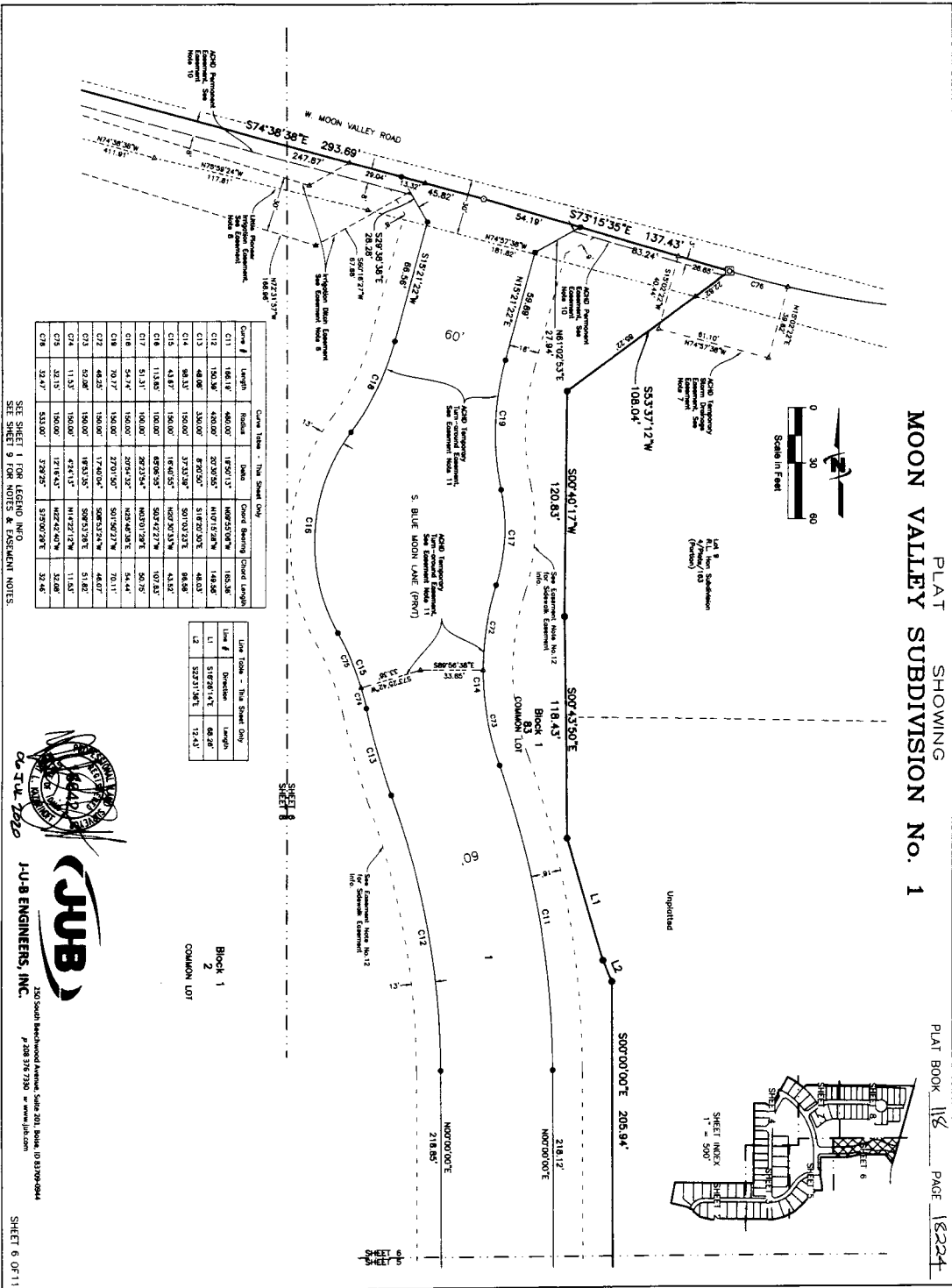
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SHEET 5 OF 11

PLAT SHOWING
MOON VALLEY SUBDIVISION No. 1

PLAT BOOK 118 PAGE 18224



Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C11	168.1'	460.00'	18°00'13"	N69°55'08"W	168.36'
C12	150.36'	430.00'	20°30'55"	N47°15'28"W	148.36'
C13	48.00'	300.00'	8°00'00"	S19°20'30"E	48.00'
C14	86.33'	150.00'	37°33'38"	S01°03'33"E	86.88'
C15	43.87'	150.00'	18°40'55"	N62°30'53"W	43.87'
C16	113.80'	100.00'	62°08'55"	S02°42'27"W	107.83'
C17	51.31'	100.00'	28°23'54"	N63°01'28"E	56.75'
C18	54.44'	150.00'	20°54'32"	N43°46'38"E	54.44'
C19	70.17'	150.00'	27°01'50"	S01°09'27"W	70.17'
C20	46.85'	150.00'	17°40'04"	S08°53'24"W	46.87'
C21	50.86'	150.00'	18°53'35"	S08°53'28"E	51.82'
C22	11.33'	150.00'	4°24'15"	N41°22'12"W	11.82'
C23	20.15'	150.00'	12°18'43"	N22°42'40"E	22.08'
C24	22.47'	333.00'	3°29'25"	S17°00'08"E	22.46'

SEE SHEET 1 FOR LEGEND AND
SEE SHEET 3 FOR NOTES & EXHIBIT NOTES

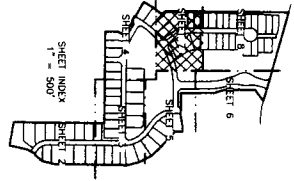


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SHEET 6 OF 11

PLAT SHOWING
MOON VALLEY SUBDIVISION No. 1

PLAT BOOK 118 PAGE 1825

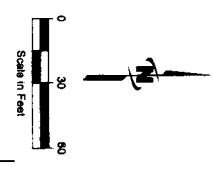
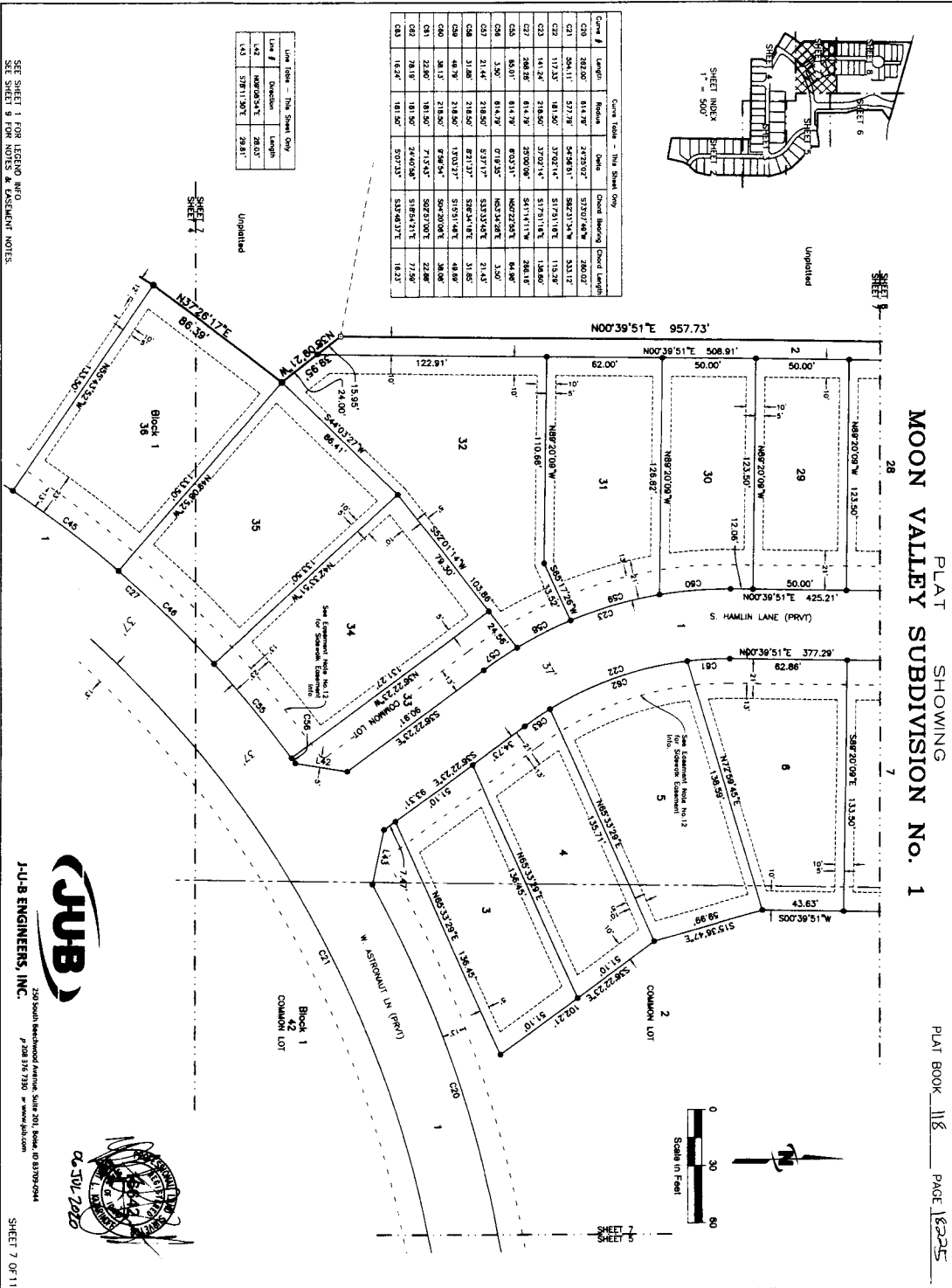


Curve Data - This Sheet Only

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C20	282.00	614.79	247.93°	S72°07'48"W	280.02'
C21	204.11	577.79	54.9631°	S82°51'34"W	203.12'
C22	117.32	181.50	37°02'14"	S17°51'18"E	115.29'
C23	143.24	218.50	37°02'14"	S17°51'18"E	138.60'
C24	208.55	614.79	29°00'00"	S41°11'17"W	208.18'
C25	65.01	614.79	6°03'31"	N02°22'07"E	64.94'
C26	3.90	614.79	0°19'32"	N03°34'28"E	3.90'
C27	21.44	218.50	57°17'17"	S53°33'45"E	21.44'
C28	31.86	218.50	82°13'47"	S28°34'18"E	31.85'
C29	48.79	218.50	17°03'27"	S15°51'48"E	48.80'
C30	38.12	218.50	9°56'54"	S04°20'08"E	38.06'
C31	22.80	181.50	7°15'43"	S02°27'07"E	22.80'
C32	78.18	181.50	24°40'08"	S19°44'21"E	77.56'
C33	16.24	181.50	5°07'33"	S33°48'37"E	16.23'

Line Data - This Sheet Only

Line #	Direction	Length
L42	N48°09'24"E	28.63'
L43	S78°11'30"E	29.81'



SEE SHEET 1 FOR LEGEND INFO
SEE SHEET 9 FOR NOTES & EASEMENT NOTES

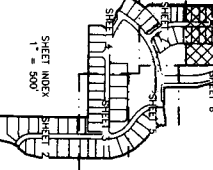
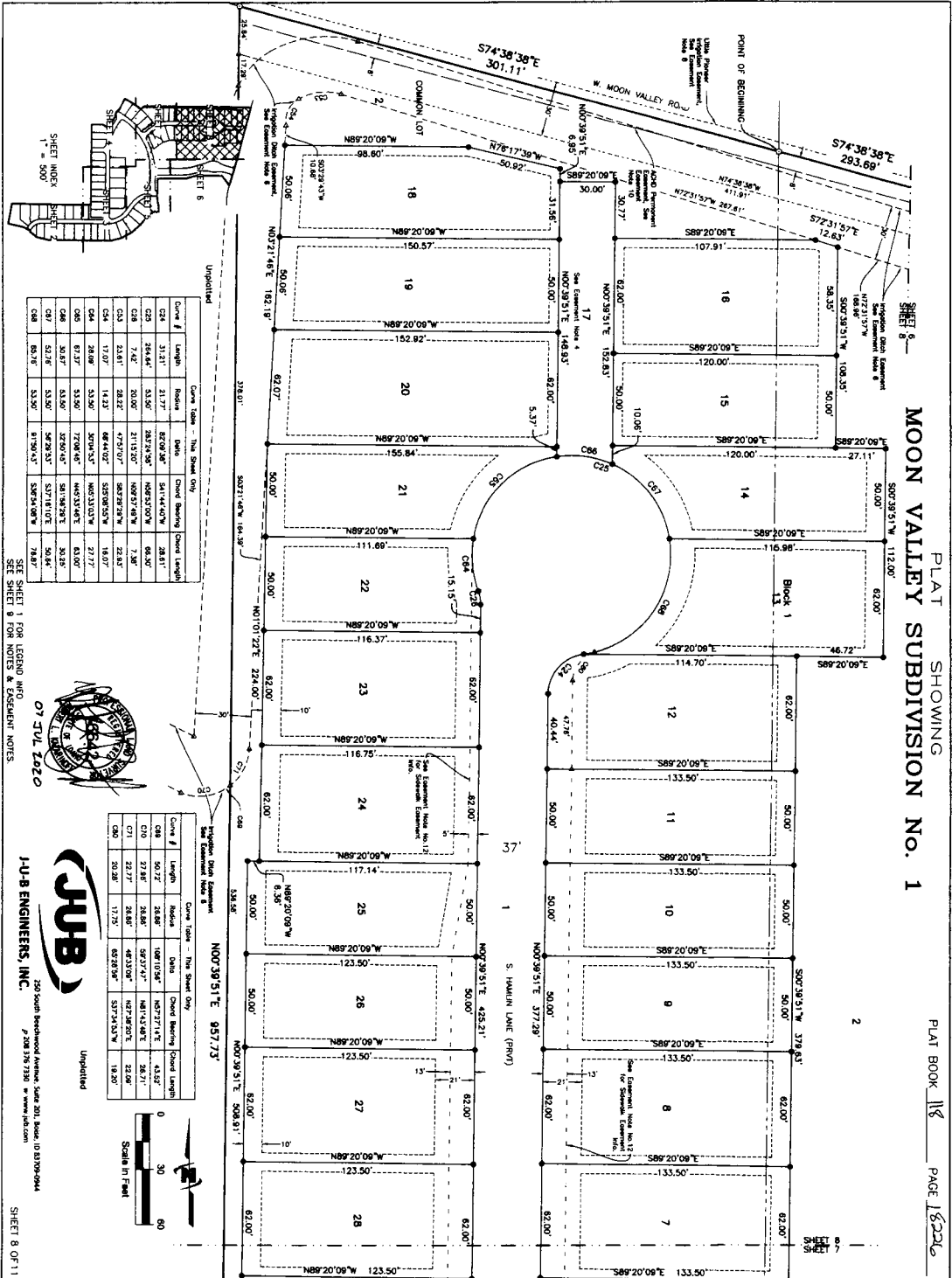
JUB
J-U-B ENGINEERS, INC.
250 South Birchwood Avenue, Suite 201, Boise, ID 83709-0944
P 208 375 7320 W www.jub.com



SHEET 7 OF 11

PLAT SHOWING
MOON VALLEY SUBDIVISION No. 1

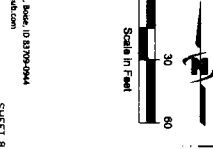
PLAT BOOK 118 PAGE 1822c



Curve #	Length	Radius	Chord	Chord Bearing	Chord Length
C24	31.21	21.77	62.09	S41°44'40\"/>	



Curve #	Length	Radius	Chord	Chord Bearing	Chord Length
C08	50.72	28.88	108.10	N07°21'47\"/>	




SEE SHEET 1 FOR LEGEND AND
SEE SHEET 9 FOR NOTES & EASEMENT NOTES

JUB ENGINEERS, INC.
320 South Boulevard Avenue, Suite 201, Baton Rouge, LA 70801-2004
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SHEET 8 OF 11

Approval of Central District Health Department
 Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied according to the letter to be read on file with the County Recorder or the agent having the conditions of approval approved. The County Recorder or the agent having the conditions of approval approved is hereby notified of the approval of the health department in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate.

Donna B. Smith, State
 Central District Health Department
 Date 3/11/2020



Approval of Ada County Highway District
 The accompanying plat has been reviewed and approved by the Board of Commissioners for the Highway District of Ada County, Idaho, on this day of February, 2020.

[Signature]
 Commissioner President
 Highway District
 Signed by Donna S. Young, Director for President



Approval of City Engineer
 I, the undersigned, City Engineer in and for the City of Star, Ada County, Idaho, on this day of June, 2020, hereby approve this plat.

Quinn Walker
 City Engineer

Approval of City Council
 The foregoing plat was prepared and approved this 19th day of November, 2019 by the City of Star, Idaho.

[Signature]
 City Clerk



Certificate of County Surveyor
 I, the undersigned, Professional Land Surveyor in and for Ada County, Idaho, do hereby certify that I have checked this plat and find that it complies with the State of Idaho Code relating to plats and surveys.

[Signature]
 Ada County Surveyor
 Date 3/11/2020



Certificate of County Treasurer
 I, the undersigned, County Treasurer in and for the County of Ada, State of Idaho, per requirements of Idaho Code 50-1306, do hereby certify that any and all current and/or delinquent taxes and assessments have been paid in full. This certificate is valid for the next thirty (30) days only.

Elizabeth Wain
 Ada County Treasurer
 Date 01/21/2022



County Recorder's Certificate

I, the undersigned, County Recorder in and for the County of Ada, State of Idaho, do hereby certify that the instrument was filed at the request of ADB Engineers, Inc. et al and that the instrument was recorded in Book 182B through 18224 of Pages of Paper 182B through 18224 of Book 182B in my office, and was recorded in this 19th day of November, 2019, at 1:00 o'clock P.M..
 The instrument paid 18224 in my office, and was recorded in Book 182B through 18224 of Pages of Paper 182B through 18224 of Book 182B in my office, and was recorded in this 19th day of November, 2019, at 1:00 o'clock P.M.

[Signature]
 Deputy
 Date 01/21/2022



ADB ENGINEERS, INC.
 200 South Broadway Avenue, Suite 201, Star, ID 83209-0044
 208.331.7320 www.adb.com