

# ARCHITECTURAL DESIGN REQUIREMENTS FOR THE EASTRIDGE #1 COMMUNITY

These Architectural Design Requirements (these “**Design Requirements**”) are promulgated on this 27th day of March, 2019 by the Architectural Review Committee (the “**Committee**”) appointed by the Eastridge Community Association, Inc., an Idaho nonprofit corporation (the “**Association**”) pursuant to Article 4 of the Declaration of Covenants, Conditions, Restrictions and Easements for the Eastridge #1 Community recorded in the real property records of Ada County, Idaho as Instrument No. \_\_\_\_\_ (the “**Declaration**”). All capitalized terms not otherwise defined herein shall have the meaning set forth in the Declaration.

## ARTICLE 1 – PURPOSE

These Design Requirements are intended to provide Owners within the Community with guidance as to the design of residential construction and related improvements. The authority and discretion to approve or disapprove any plans or specifications submitted to it shall rest exclusively with the Committee. The Committee shall consider all such plans and specifications in light of Article 3 of these Design Requirements, but may, in addition, consider such additional circumstances and facts, as it deems appropriate in arriving at its final decision to approve or disapprove.

## ARTICLE 2 – APPLICATION PROCEDURES

**Section 2.1 Jurisdiction of the Design Review Committee.** The entire Community shall be subject to these Design Requirements.

**Section 2.2 Application for Approval.** Any Owner proposing the installation or construction of any Improvement on any Lot which is subject to the review and approval of the Committee shall submit the following items, to the extent applicable given the nature of the Improvements proposed, together with such other and additional information as the Committee may request:

- (A) Site Plan. A site plan at a scale of not less than 1”=20’ showing the Lot and including, at a minimum, (1) property lines and dimensions, as shown on the Plat, (2) the building envelope, if any, as shown on the Plat, (3) the location of the proposed Improvements for which approval is sought and their relationship to property lines, and (4) the driveway, parking and walkway locations, and the width, grades, and proposed surface material of each.

(B) Architectural Drawings.

1. Floor plans at a scale of not less than 1/8"=1' showing all floors, garages, basements, lofts and spaces intended to be used or occupied. Indicate room dimensions and square footage of each floor.

2. Exterior elevations at a scale of not less than 1/8"=1' showing all exterior elevations and surfaces of the proposed Improvements.

3. Exterior lighting should be indicated where it occurs, together with type of fixtures, direction of light to be emitted, and information on whether such lighting is recessed or surface mounted.

4. The Committee may require submission of such additional plans and other information (including models), as it may deem appropriate to the approval process.

5. Landscape Drawings. Landscape plans shall be prepared by a landscape architect or professional landscaping company and shall include:

6. A planting plan at a scale of not less than 1"=20' showing the arrangement of all trees, shrubs, groundcovers, sodded lawn areas, and natural grass areas. A plant list or other indication of species, variety, size, quantity, spacing and location of all plant materials proposed for use on the project shall be included.

7. Landscape features such as decks, retaining walls, fencing, privacy screens awnings, canopies, gazebos, benches, steps, etc., shall be clearly delineated on the plans in sufficient detail to adequately demonstrate their finished location and appearance.

8. A site drainage plan shall be provided to demonstrate the ability to retain all site drainage to the subject site.

9. Landscaping lighting fixtures, if any, shall be clearly delineated on the plan indicating location, type of fixtures, height and material.

The items to be submitted under this Section 2.2 shall be submitted to the Committee at:

Conger Group  
4824 W. Fairview Avenue  
Boise, Idaho 83706

**Section 2.3** Paint Colors. All paint colors shall be submitted on the Committee's paint color approval request form and subject to the Committee's approval, in its sole discretion. All paint colors shall be earth tones. In general, no more than three colors per Lot will be permitted. No neon, loud, bright or obnoxious colors are allowed.

**Section 2.4 Architectural Review Process.** Owners shall obtain a preliminary review of any proposed construction from the Committee, prior to the final review process. The purpose of the preliminary review is to give the Owner, or its representatives, an opportunity to discuss specific design concerns with the Committee, obtain interpretations and answers to questions concerning these Design Requirements, or other relevant information, and to allow the Committee the opportunity to provide feedback and direction toward architectural compliance. This preliminary approval by the Committee shall not obligate the Committee to approve final plans and specifications for the project after a formal submittal as provided for in Section 2.2. The information, plans and specifications provided to the Committee at the preliminary review stage shall be at the discretion of the applicant, which should include sufficient information and graphic representations to allow the Committee to be helpful in the development of an acceptable construction plan.

**Section 2.5 Fees.** The application for preliminary design review, which shall then include final approval of any landscaping or construction plan shall be accompanied by a fee in an amount of \$2,500.00, and from time-to-time amended as deemed necessary by the Committee.

**Section 2.6 Inspection.** Submittal of an application authorizes the Committee to make an onsite inspection of the Lot on which the improvements are proposed. Further, the Owner shall notify the Committee when the improvements have been completed, allowing the Committee to inspect and confirm that the improvements were completed in compliance with approved plans and specifications.

**Section 2.7 Notification of Action.** Upon receipt of a completed application for approval, the Committee shall have thirty (30) days in which to complete its review, and to notify the applicant, in writing, of its decision to approve or disapprove. If the application is not approved, the reasons will be stated. In the event that the Committee fails to approve or disapprove any plans or specifications requested within thirty (30) days after receiving an application therefore, together with all additional information, plans or specifications requested by the Committee, approval of the Committee shall conclusively be deemed to have been given.

**Section 2.8 Expiration of Approval.** Except as herein provided to the contrary for landscape completion, after approval the applicant shall commence the Improvements within six (6) months, and shall complete them within one (1) year from the approval date. Failure to do so will cause the approval to expire unless, prior to expiration, the applicant petitions for, and receives, an extension from the Committee, which may be granted, in the sole discretion of the Committee, only if exceptional circumstances should warrant it.

**Section 2.9 Application Form.** Application for approval by the Committee shall be completed on forms provided by the Committee, and shall be signed by all record owners of title to the Lot on which the proposed Improvements will be constructed or installed.

**Section 2.10 Limitations on Committee Approval.** In considering and approving any application for review under these Design Requirements, the Committee does not consider, assumes no responsibility for and no approval shall be deemed to be an approval of, the following:

(A) The structural capacity of the proposed Improvements, nor the suitability of any proposed materials, building techniques or other aspects of the improvements relating to habitability or suitability for the intended purpose of the Owner;

(B) Compliance with any applicable law, including building codes; or

(C) Suitability of the proposed site of any improvements in relation to manmade or natural hazards, including, without limitation, geological instability, ground compaction, drainage or flood hazards.

## **ARTICLE 3 – DESIGN CRITERIA**

**Section 3.1 Scale and Orientation of Buildings.** Minimum square footage of the enclosed living space of the ground floor of the primary residence structure (excluding decks, patios, covered walkways, and garages) shall not be less than 2,400 square feet. A house with a bonus room shall not be less than 2,400 square feet. If home is of a two-story design, the total square footage of living space shall not be less than 3,400 square feet. The scale, including height and mass of a building, should be appropriate to the size of the Lot.

### **Lots 2-5, Block 1:**

- These four specific Lots are required to be single level with a maximum roof height of 25 feet.

### **Lots 1-3, Block 3 and Lots 19-21, Block 2:**

- These 6 specific Lots are required to be single level with a maximum roof height of 25 feet.
- Rear Setbacks for Lots 1,2 & 3, Block 3 shall be 45 feet. The 45 foot setback is measured from the north property line.
- Rear Setbacks for Lots 19, 20 &21, Block 2 shall be no closer than toe of existing slope and also meet city requirements.
- Side Setback for Lot 3, Block 3 and Lot 21, Block 2 to be 10' from western property line.
- Interior Side Yard Setbacks are to be 5 feet for stated 6 lots.

### **Lots 3 – 16, Block 2:**

- Rear Setbacks for Lots 19, 20 &21, Block 2 shall be no closer than toe of existing slope and also meet city requirements.
- Interior Side Yard Setbacks are to be 5 feet.

### **Lots 6-23, Block 1:**

- Rear Setbacks shall be 45 feet or 15 feet from top of slope whichever is greater
- Side Setbacks shall be 7.5 feet

### **Lots 2 – 5, Block 1:**

- Front, Sides and Rear Setbacks shall meet city code requirements.

**Section 3.2 Exterior.** The exterior design for Eastridge #1 must be old world (French country, English cottage, or Tudor) or early American (farmhouse or eastern seaboard cottage). All architecture should be four-sided. Although the main emphasis on detail should be on the front exterior, homes should include enough side and rear detail to tie the architecture together. This should include using the same siding and trim materials around all sides. It should also include enough detail to tie the front to the remainder. Exteriors that do not have a specific architectural theme or are using detail and elements that are not consistent, random, unbalanced or cluttered with ornate detail will be denied. Emphasis should be on architectural detail with clean lines. A preliminary exterior review with the ACC is required.

**Section 3.3 Exterior Finishes and Colors.** Exterior finish materials and colors shall be consistent and continuous on all elevations of a dwelling to achieve a uniform and complete design. Hardy / True Lap / Louisiana Pacific or equivalent, stucco, local stone, and brick are preferred exterior materials. No Masonite siding allowed. The siding must be Cementous true lap. Subject to compatibility with the overall architectural style and design, all homes, except as noted below, shall be required to incorporate brick or stone, in the exterior finish. Architectural and aesthetic balance shall be primary concern in determining placement of materials. All materials will be required to terminate at an inside corner whenever possible. Materials may be required to extend further in cases where there is a more logical terminus point. Designs are encouraged to use materials to define building forms.

**Section 3.3.1 Brick & Stone.** A minimum of 20% of elevations that face a street(s) will be required to be stone or brick. The requirement for the use of brick or stone, on exterior elevations may be waived for exceptional design concepts that establish a very high quality through other elements of architectural design. The DRC may require upgraded siding, additional landscaping, or other elements at its discretion. Brick and stone colors shall be compatible with the exterior paint colors approved by the DRC. Darker brick shades are encouraged. White or gray brick are not permitted unless specifically approved by the DRC.

**Section 3.3.2 Siding & Stucco.** Siding shall be 8" hardy / cement, cedar shake, or board and batten. Cottage lap siding is not permitted; other types of siding not contemplated herein are subject to written approval by the DRC. Steel, aluminum, or vinyl siding are prohibited. If siding is used on an elevation, it shall be used on all elevations. Stucco will not be allowed when siding is used. Stucco exterior shall incorporate appropriate articulation and accents, such as 1-1/2" deep by 6" wide trim around windows, 12" intermediate horizontal bands at 2-store elements, belly bands, frieze boards, etc. If stucco is used on an elevation it shall be used on all elevations.

**Section 3.3.3 Solar Panels.** Solar panels and locations must be approved by DRC prior to installation. Panels shall be commercially manufactured and well maintained. Solar panels shall not be visible from the front elevations of the home. Solar panels and associated hardware shall be an integral part of the design of the home. The color of solar panels shall be black and shall be recess mounted (flush) into the roof structure with no visible piping. If solar panels are used, black asphalt shingles shall be used for the roofing material.

**Section 3.3.4 Exterior Paint Colors.** Exterior wall colors and trim colors must be selected for their harmony with each other and the overall aesthetic goals of the Eastridge #1 Community Plan. Rain gutters and downspouts shall be painted to match the color of the surface to which they are attached. Exterior colors of earth tones, warm tones, or grays shall be required for the body of the house. Bright, bold, very dark colors shall be reviewed on a case by case basis.

**Section 3.3.5 Roof.** Roofs shall be 30-year or better architectural asphalt shingles, slate, concrete tile, or clay tile and must have high-definition ridge caps. Color must be black or dark grey. Other roofing materials are subject to written DRC approval.

**Section 3.3.6 Rain Gutters and Downspouts.** Rain gutters and downspouts are required on all of the house, shall be continuous, and painted to match the color of the surface to which they are attached. The use of chains or copper gutters and downspouts is subject to approval of the DRC.

**Section 3.3.7 Fascia & Trim.** Roof Fascia shall be a minimum of 8” tall. Certain architectural styles may require taller fascia. Gables shall incorporate stacked trim detailing. Fascia on trim shall be constructed of nominal 1” thick material. Stacking is not required on eaves where gutter covers the additional fascia.

**Section 3.3.8 Architectural Detail/Accents.** Focus should be placed on architectural design that is true to the character or style submitted. Details and accents should represent the historical integrity of each style and should be consistent with the style on all elevations.

**Section 3.3.9 Chimneys.** Chimneys may be restricted for size and location. All full height chimneys shall have an architectural metal chimney cap that fully encloses the chimney pipes and painted as approved by the DRC. Fireplace chimneys are highly encouraged to go full height and be clad in brick or stone.

**Section 3.3.10 Concept Elevations.** The following sample concept elevations speak to the design language that is envisioned for East Ridge Estates Phase 1. These design styles will be utilized throughout the ACC review process.

**CONCEPT 1**



**CONCEPT 1**

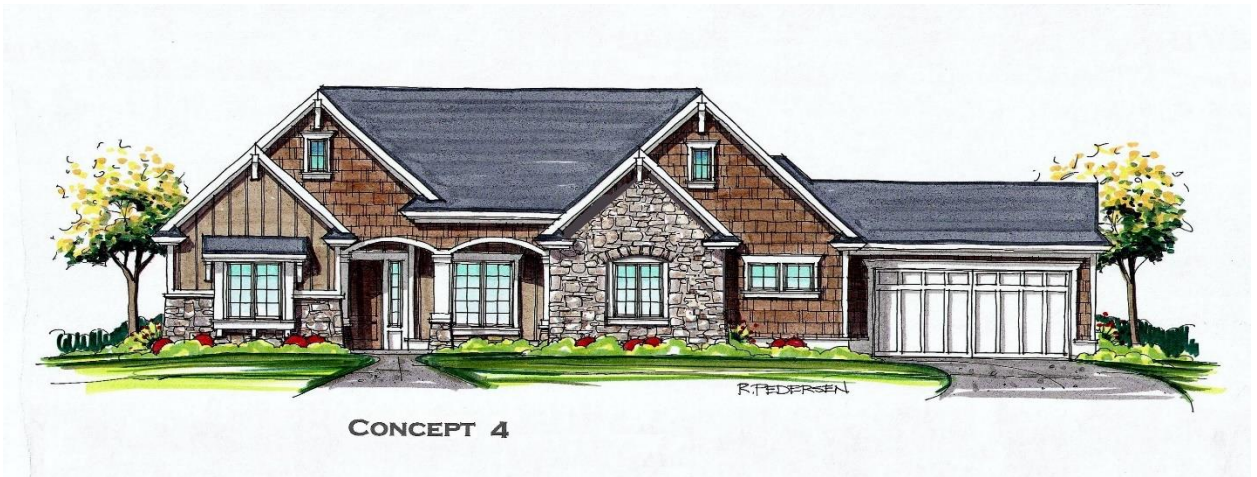


**CONCEPT 2**

CONCEPT 3



CONCEPT 3



CONCEPT 4





**CONCEPT 5**



**CONCEPT 6**



**CONCEPT 7**

**Section 3.4 Garage Doors.** The maximum height for a garage door is 12' tall. Doors over 8' tall must be set back 28' from sidewalk. Garage door and wall heights also need to be balanced with the entire structure. Side entry garages are strongly encouraged. Front entry garages may be approved but only when the garage is behind the main part of the living space structure and will require additional architectural elements, such as recessed doors or roof extensions with columns. Garages should also be balanced with the rest of the exterior. Traditional style garage doors are encouraged with upper glass sections and faux hardware (trusting door handles and hinges). Garages to be North or East on 7-23, Block 1; North on Lots 3-9, Block 2; East on Lots 2-4, Block 1; West on Lots 11-15 and 19, Block 2; and West on Lot 1, Block 3.

**Section 3.5 Retaining Walls.** All proposed retaining walls are subject to Committee approval. All foundation walls or retaining walls with more than twenty-four (24) inches of vertical surface visible above grade shall have a surface treatment on the exposed portion as approved by the Committee.

**Section 3.55 Slope Area.** No owner other than Grantor (or the Association) shall construct any Improvements, including without limitation fences and landscaping, within the Slope Area, or install or cause to exist any trails within the Slope Area. The Association is responsible for maintaining the Slope Area, which maintenance is limited to the minimum amount necessary to reservice the native vegetation in such area within Lots 6 -23, Block 1.

Property Owner to maintain their property slope area on Lots 3 – 16, Block 2, and 19 – 21, Block 2. The Slope Area to be landscaped. Retaining walls a maximum of 4' height are allowed. No structures, play areas, or kennels are allowed within the slope area.

**Section 3.6 Drainage.** All drainage shall be contained on each Lot.

**Section 3.7 Driveways.** Driveways shall be constructed of concrete or masonry pavers. No driveways shall be constructed of gravel, colored concrete, or concrete blocks.

**Section 3.8 Utility Appurtenances.** All utility meter panels, furnaces, heating units, air conditioning units, heat pumps, pool equipment and similar utility appurtenances shall be screened or fenced from view of front street and adjacent properties and shall be located away from street visibility wherever possible.

**Section 3.9 Pet Enclosures.** All dog runs, pens, and other pet enclosures shall be located immediately adjacent to, and at the rear of, the residential dwelling, and landscaped or otherwise screened or fenced to obscure them from view from neighboring lots or adjacent streets. All such pet enclosures shall receive approval by the Committee prior to construction.

**Section 3.10 Exterior Lighting.** Light sources shall be shielded and directional, and the light source shall not be visible from neighboring properties or adjoining streets. Lighting of large areas should only occur where it is absolutely required for safety considerations, and should be of limited duration, i.e., the area should not be illuminated all night. All exterior lighting shall require the approval of the Committee prior to installation, and all plans submitted for approval shall show clearly the location, and type of light fixtures proposed, together with any other information which may be helpful to the Committee in reviewing the application. All front garage lights shall be connected to a photocell and shall not have an override switch.

**Section 3.11 Signs.** No more than one (1) sign shall be permitted on any Lot at any one time, and no signs shall be placed by a Lot owner, or its agents, on any Common Area or on any Lot belonging to another Owner. Signs cannot exceed six (6) square feet in size and not be more than three (3) feet above grade. All signs shall be properly maintained at all times and be kept in an upright position.

**Section 3.12 Landscaping.** All landscaping shall conform to the approved landscape plan and shall contain the minimum requirements for each Lot on which a residence has been proposed. (The front yard of a Lot is defined as that area between the front property line and the plane of the surface of the residential building facing the front property line.) All landscaping shall be completed prior to occupancy, weather permitting. Special consideration and extensions will be granted from December 1 to April 1 upon written approval of the Committee. All landscaping shall be irrigated by a timer-controlled, automated, underground irrigation system, with the control box located in a weather proof control box in the garage or on the rear of the dwelling. Landscaping shall, at the minimum, include the following:

<b>Trees</b>	<b>Front Yard:</b>	2 deciduous trees – at least one of 3” caliper
	<b>Back Yard:</b>	2 deciduous trees
	<b>Street Planter Strip:</b>	Minimum 2 Autumn Blaze Maples every 35’ – evenly spaced on property
		Deciduous trees shall be at least 2.5” caliper
	<b>Corner Lot Side Yard:</b>	2 additional deciduous trees
<b>Shrubs</b>	<b>Front Yard:</b>	20 one-gallon (minimum) shrubs 20 two-gallon (minimum) shrubs 5 five-gallon (minimum) shrubs
	<b>Corner Lot Side Yard:</b>	20 additional one-gallon (minimum) shrubs
<b>Lawn</b>	<b>Front Yard/Back Yard:</b>	Full sod turf; no hydro-seed is permitted
<b>Planter Beds</b>		Planter beds shall be covered with either (a) rock/pebbles not exceeding one (1) inch in diameter and naturally colored grey, or

brown earth tone. Red cinder, white colored rock and bark are not permitted. Natural bark chip not exceeding one (1) inch in diameter is permitted.

<b>Berming</b>	<b>Front Yard:</b>	Berming to be incorporated into the front yard landscape
<b>Boulders</b>	<b>Front Yard:</b>	Significant boulders to be incorporated into the front yard landscape

**Lot specific Landscape Requirements:**

**Lot 3, Block 3 and Lot 21, Block 2**

- A deciduous tree with a caliper size between 2 to 2.5 inches every 60 feet / an evergreen (blue spruce) tree sized between 8 to 10 feet approximately every 60' (i.e. a tree every 30 feet) along west boundary.
- A grouping of 3 shrubs between every tree along west boundary.

**Section 3.13 Fencing.** All fencing shall be subject to the Committee's approval, in its sole discretion. Prior to the construction of any fence, plans shall be submitted as part of the landscape plans to and approved in writing by the DRC. The submittal shall include a site plan showing the location of fencing proposed, including setback dimensions, and shall designate the heights, lengths, etc, of the proposed fence. No fences, other than those specified below, shall be permitted.

Depending on location, DRC may require an on-site inspection prior to fence construction.

Where wrought iron is used along the perimeter rear lot lines or rear slope line (Lots 6-23 Block 1 and 1-3, Block 3), wrought iron should also be used for a minimum of two fence panels (2- 8' panels) on the side yard fencing. Wood panel fencing would make up the balance of the side ward fencing.

Where wrought iron is used along the rear lot line of Lots 3-16 and 10-20 Block 2; the slope area shall have wrought iron fence on the side yard fencing. Wood panel fencing would make up the balance of the side ward fencing. Lot 21 – East side yard fencing to be wood panel from slope forward.

Wherever possible, adjoining lots shall use common corner posts. Front fence setbacks shall be a minimum of 4 feet behind the principal setback of the house on each side of the lot. Fence shall be wrought iron fencing from house to side yard fencing..

Transitions in fence height shall be accomplished by stepping (not angling) the fence top.

On the side yard fencing the transition from iron to wood in the rear yard is to be 16' of iron to perimeter fence (2-8' panels).

**Lot specific Fence Requirements:**

**Lot 3, Block 3 and Lot 21, Block 2**

- Wrought Iron Fencing on the western perimeter line boundary with adjacent neighbor is required. No wood fencing will be allowed along western boundary.

**Lot 1, Block 3 and Lot 23, Block 1**

- The street side fence shall be a minimum of 10' from back of sidewalk.

**Lot 16, Block 2**

- Wrought Iron Fencing on the western property line next to the park is required. No wood fencing will be allowed.

**Lot 19, Block 2**

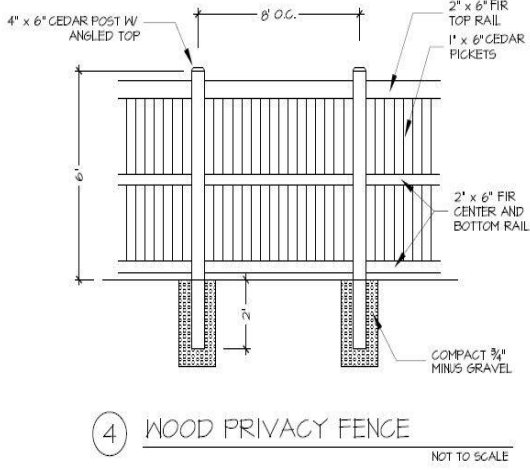
- The street side fence shall be Wrought Iron Fencing.

For fencing type requirements refer to the Exhibit A, fence specification.

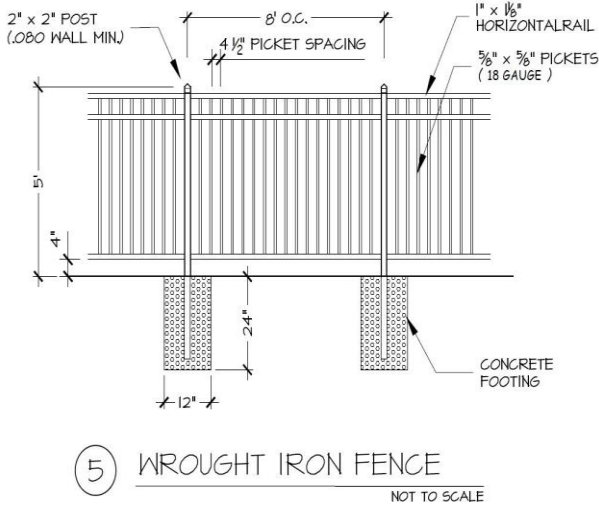
Exhibit A

Fence Specifications (Solid & Wrought Iron)

**Solid Fencing Specification**  
**Color: SW3524 - Chestnut**



**Wrought Iron Specification**  
**Color: Black**



**Section 3.14 Setbacks.** As required by applicable law or otherwise stated in this document.

**Section 3.15 Foundations and Grading.** It is the builder's responsibility to design and prevent the accumulation of water in crawl spaces. Each Owner is responsible for ensuring that the grading plan for its Lot is designed such that water transfer and run-off is contained to that Lot.

**Section 3.16 Garages.** All homes must have as a minimum an enclosed two-car garage constructed of the same materials and colors as the main structure, and include architectural detail such as vents, arches, and other accents. Garage doors will be required to have some architectural detail or windows. No roll-type garage doors are allowed. Garage interiors shall, at a minimum, be taped and painted.

**Section 3.17 Accessory Structures.** Separate garages, shops, storage sheds, and outbuildings shall be submitted to the Committee approved by the Committee in its sole discretion. Architecture for any such approved structure must be consistent in aesthetic appearance with the primary dwelling and must be located in such a manner as to not adversely impact adjoining properties. All such structures must be built and finished to match the style of the primary dwelling and shall have a roof of the same materials and style as the primary dwelling of the Lot on which it sits. All accessory structures to have the same architectural features consistent with the main structure (i.e. stone, stucco, colors, roofing).

**Section 3.18 Flagpoles.** Fixed or permanent flag poles are not permitted.

## **ARTICLE 4 – CONTRACTOR REQUIREMENTS**

Any contractor providing services in the Community shall comply with, and shall strictly enforce its subcontractors, suppliers and employees compliance with, the Community Documents and any rules or regulations promulgated by the Committee or the Board, including rules or regulations regarding (a) insurance and indemnification requirements, (b) daily cleanup of construction waste, trash and debris, (c) material storage, (d) worker parking, (e) repair of off-site damage, (f) disposal of construction waste and (f) standards of conduct.

## **ARTICLE 5 – DISPUTE RESOLUTION**

All claims, grievances or disputes arising out of or relating to the interpretation, application or enforcement of these Design Requirements, or the rights, obligations and duties of any party hereunder, shall be subject to the provisions of the Declaration.

## **ARTICLE 6 – INTERPRETATION**

**Section 6.1 Approvals only in Writing.** Any reference herein to the consent, approval or agreement of the Committee, or words of similar import, shall mean the Committee's consent, approval or agreement in writing. Any verbal consent, approval or agreement by any member of

the Committee shall be deemed consent for to promptly prepare and deliver an appropriate request for approval of such matter to the Committee for review and consideration.

**Section 6.2 Conformity with Declaration, Articles and Bylaws.** These Design Requirements shall be interpreted to conform with the Declaration, the Articles and the Bylaws. In the event of a conflict between these Design Requirements and the Declaration, the Articles or the Bylaws, the Declaration, Articles or Bylaws, as the case may be, shall govern.

**Section 6.3 Ambiguities.** These Design Requirements shall be liberally construed to effectuate its purpose of creating a uniform plan for the development of the Community. In the event that any provision of these Design Requirements is deemed ambiguous on any matter, the Committee's interpretation of such provision shall be given deference so long as the interpretation is a permissible construction of such provision.

## **ARTICLE 7 – AMENDMENT**

The content of the Architectural Design Requirements may be modified and amended from time to time as provided herein by a majority vote of the Committee. No amendment shall reverse previously granted approvals.

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ADOPTED by the unanimous consent of the Committee pursuant to the Declaration on the year and day first set forth above.

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Robert Pedersen, Committee Member

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Christine Duft, Committee Member

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Dianne Jossis, Committee Member